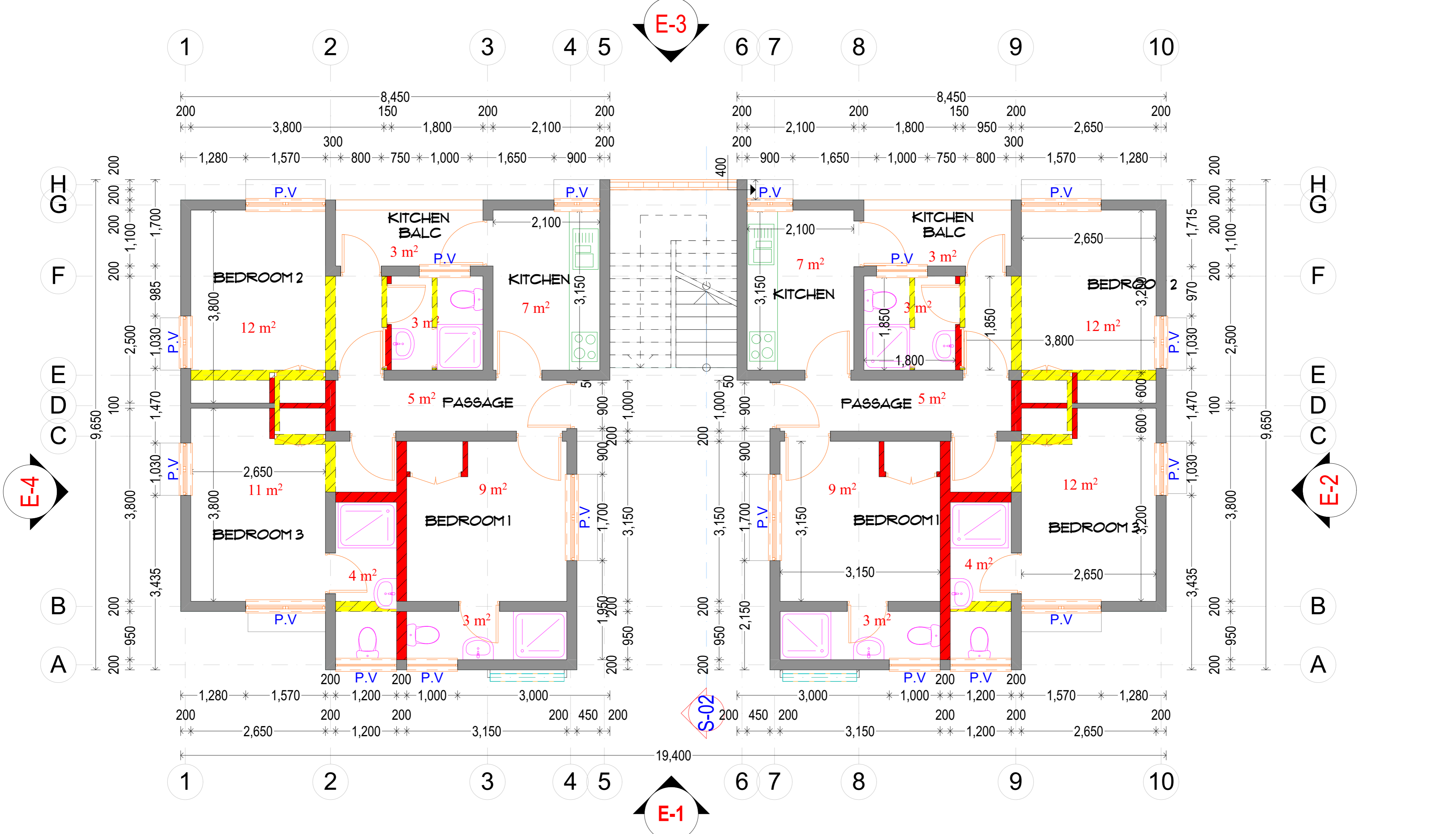


GROUND FLOOR PLAN


- EXISTING WALL
- DEMOLITION WORKS
- NEW WALL



FIRST FLOOR PLAN [TYPICAL]


- EXISTING WALL
- DEMOLITION WORKS
- NEW WALL

PROJECT TITLE:
PROPOSED RENOVATION TO EXISTING APARTMENT AT KESRA MOMBASA

CLIENT:
 **KENYA SCHOOL OF REVENUE ADMINISTRATION (KESRA)**

DESIGN STAGE:
SCHEME DESIGN

DRAWING TITLE:

CONSULTANTS:
 **JKUAT ENTERPRISES LTD. (JKUATES)**

ARCHITECTS:
 KIGONDU S.

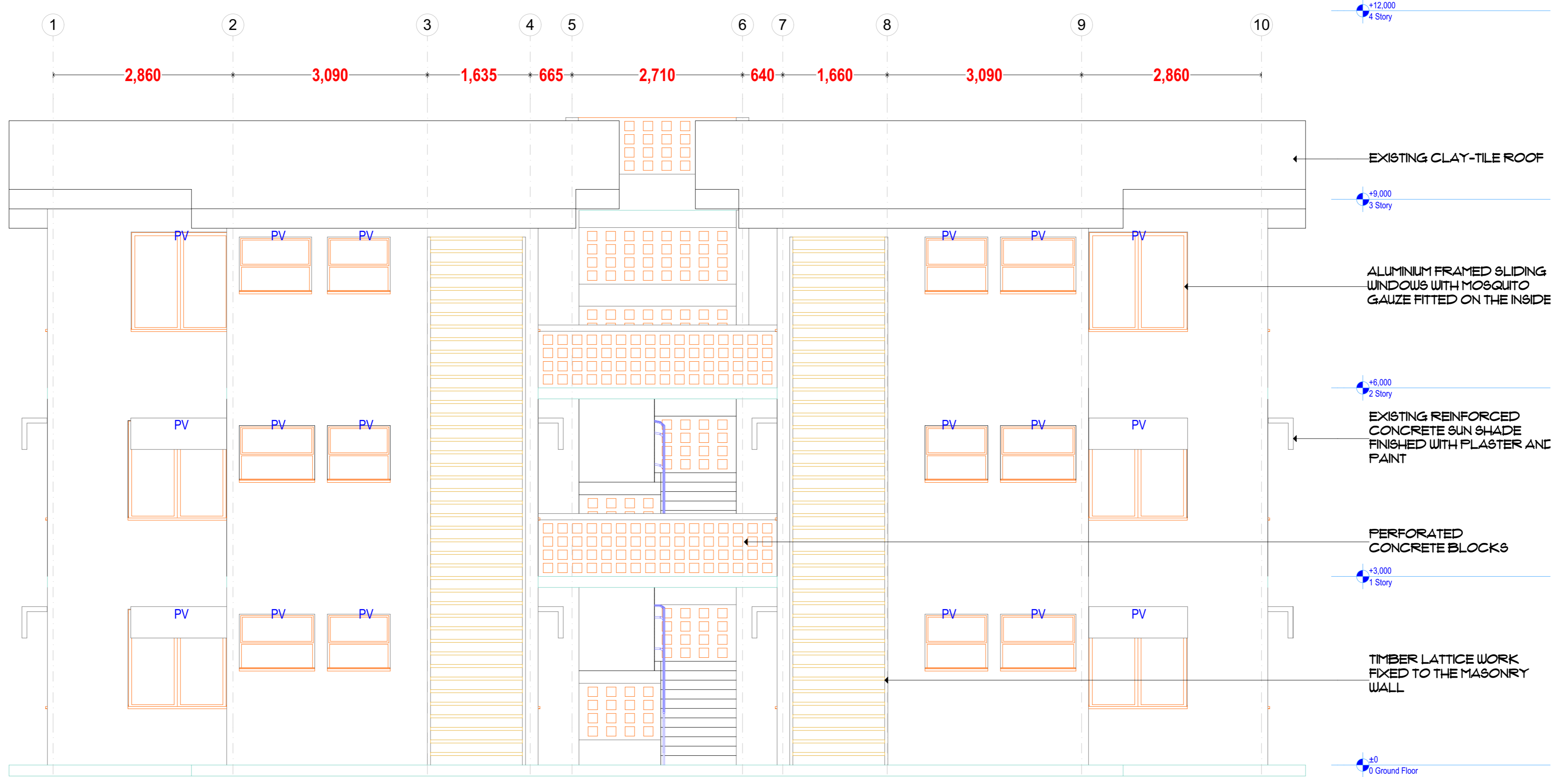
JKUATES
 P.O BOX 62000-00200
 NAIROBI

DATE: **26/05/2021**

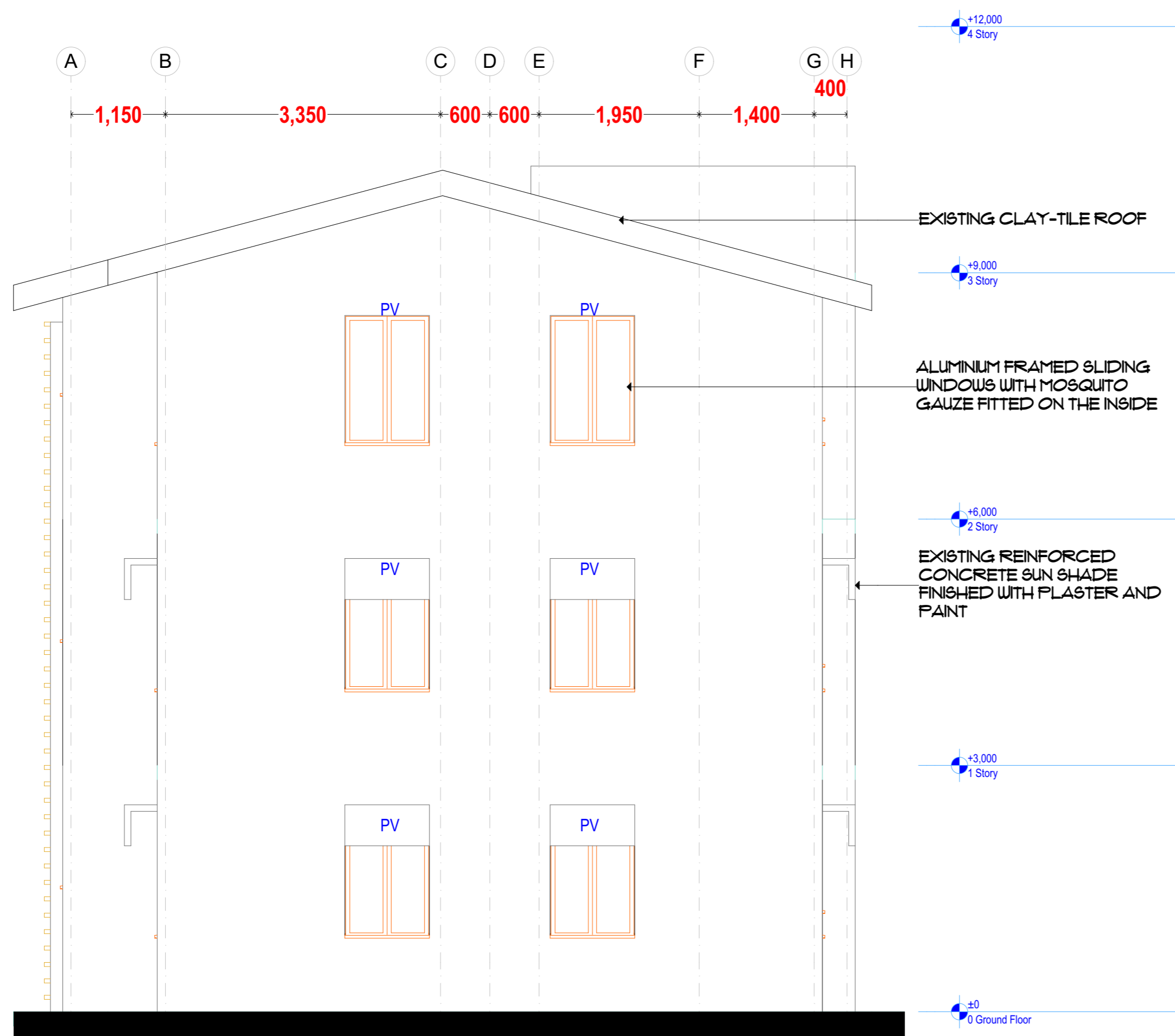
CHEKED BY: **KI**
 DRAWN BY: **KIP**

DRAWING SCALE ON A1
1:50

- GENERAL NOTES**
1. All dimensions to be checked on site and any discrepancy referred to the architect immediately.
 2. P.V denotes permanent air vent over doors and windows as marked on plans and elevations.
 3. All R.C (reinforced concrete) works must be carried out as per Structural Engineer's details
 4. All Drain Pipes passing under building or drive-way are to be encased in 150mm thick concrete surround.
 5. All Plumbing, Water Reticulation and drainage to be left clean and in working order to the entire satisfaction of M.O.H.
 6. D.P.C to be of approved quality plastic membrane provided under all walls
 7. All Inspection chambers along Drive-way should have quality heavy duty covers
 8. Dry co2 fire extinguisher to be available at escape route to N.CC regulations
 9. 60% of energy used to be solar



ELEVATION E-01



ELEVATION E-02

PROJECT TITLE:

**PROPOSED RENOVATION
TO EXISTING APARTMENT
AT KESRA MOMBASA**

CLIENT



**KENYA SCHOOL OF REVENUE
ADMINISTRATION (KESRA)**

DESIGN STAGE

SCHEME DESIGN

DRAWING TITLE:

CONSULTANTS:



**JKUAT ENTERPRISES LTD.
(JKUATES)**

ARCHITECTS

KIGONDU S.

JKUATES
P.O BOX 62000-00200
NAIROBI

DATE: **26/05/2021**

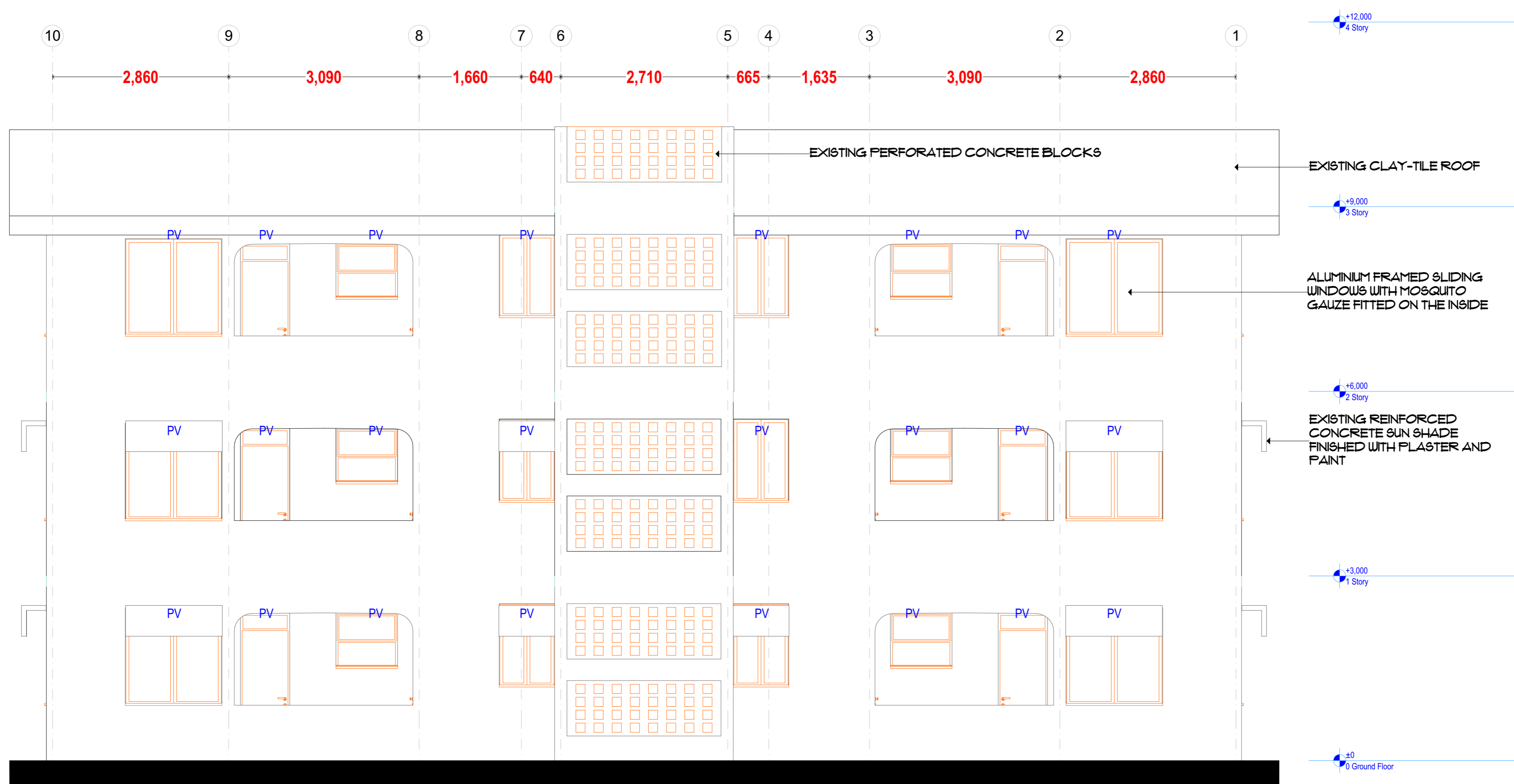
CHEKED BY: KI

DRAWN BY: KIP

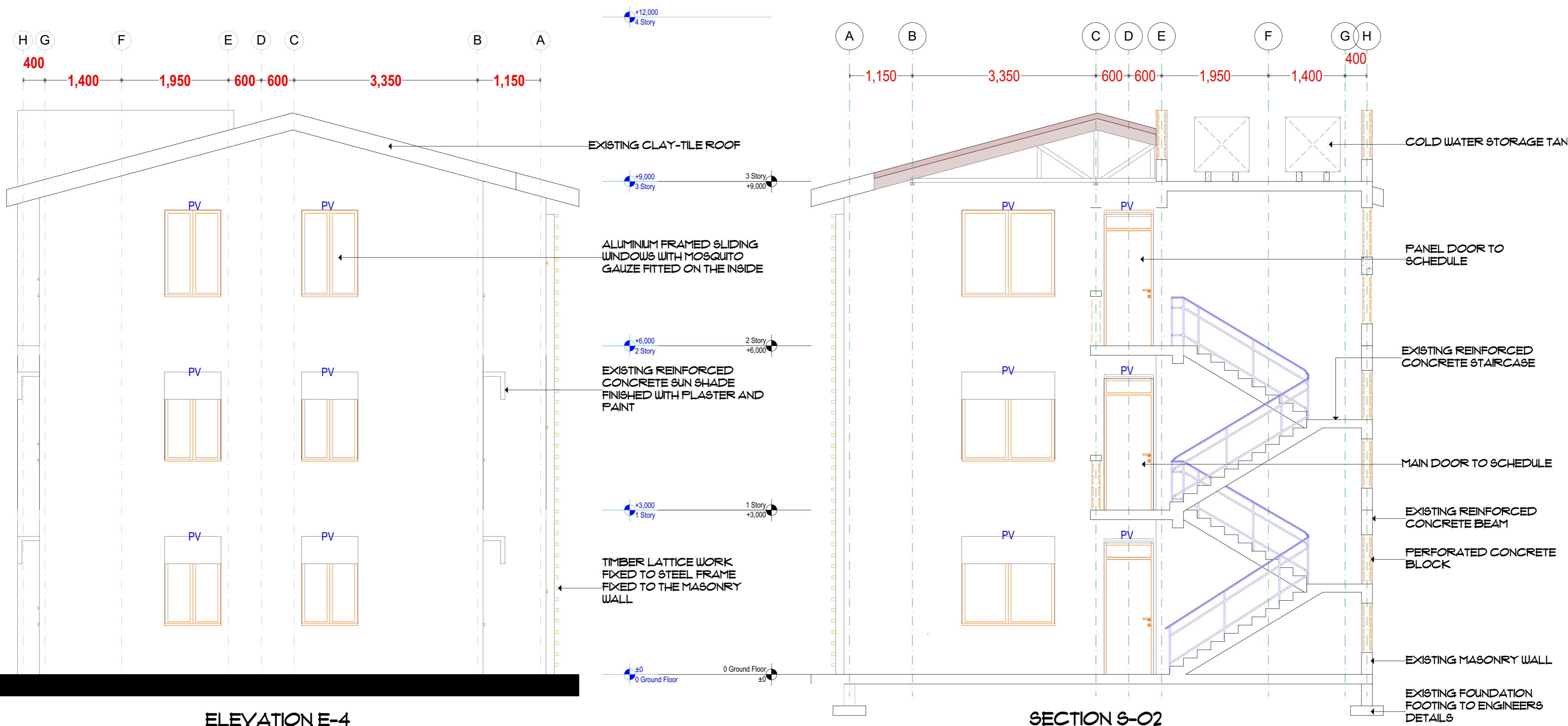
DRAWING SCALE ON A1
1:50

GENERAL NOTES

1. All dimensions to be checked on site and any discrepancy referred to the architect immediately.
2. PV denotes permanent air vent over doors and windows as marked on plans and elevations.
3. All R.C (reinforced concrete) works must be carried out as per Structural Engineer's details
4. All Drain Pipes passing under building or drive-way are to be encased in 150mm thick concrete surround.
5. All Plumbing, Water Reticulation and drainage to be left clean and in working order to the entire satisfaction of M.O.H.
6. D.P.C to be of approved quality plastic membrane provided under all walls
7. All Inspection chambers along Drive-way should have quality heavy duty covers
8. Dry co2 fire extinguisher to be available at escape route to N.CC regulations
9. 60% of energy used to be solar



ELEVATION E-03



ELEVATION E-4

SECTION S-02

PROJECT TITLE:

PROPOSED RENOVATION
TO EXISTING APARTMENT
AT KESRA MOMBASA

CLIENT



KENYA SCHOOL OF REVENUE
ADMINISTRATION (KESRA)

DESIGN STAGE

SCHEME DESIGN

DRAWING TITLE:

CONSULTANTS:



JKUAT ENTERPRISES LTD.
(JKUATES)

ARCHITECTS

KIGONDU S.

JKUATES
P.O BOX 62000-00200
NAIROBI

DATE: 26/05/2021

CHEKED BY: KI

DRAWN BY: KIP

DRAWING SCALE ON A1
1:50

GENERAL NOTES

- All dimensions to be checked on site and any discrepancy referred to the architect immediately.
- PV denotes permanent air vent over doors and windows as marked on plans and elevations.
- All R.C (reinforced concrete) works must be carried out as per Structural Engineer's details
- All Drain Pipes passing under building or drive-way are to be encased in 150mm thick concrete surround.
- All Plumbing, Water Reticulation and drainage to be left clean and in working order to the entire satisfaction of M.O.H.
- D.P.C to be of approved quality plastic membrane provided under all walls
- All Inspection chambers along Drive-way should have quality heavy duty covers
- Dry co2 fire extinguisher to be available at escape route to N.CC regulations
- 60% of energy used to be solar